

MID SUSSEX DISTRICT COUNCIL

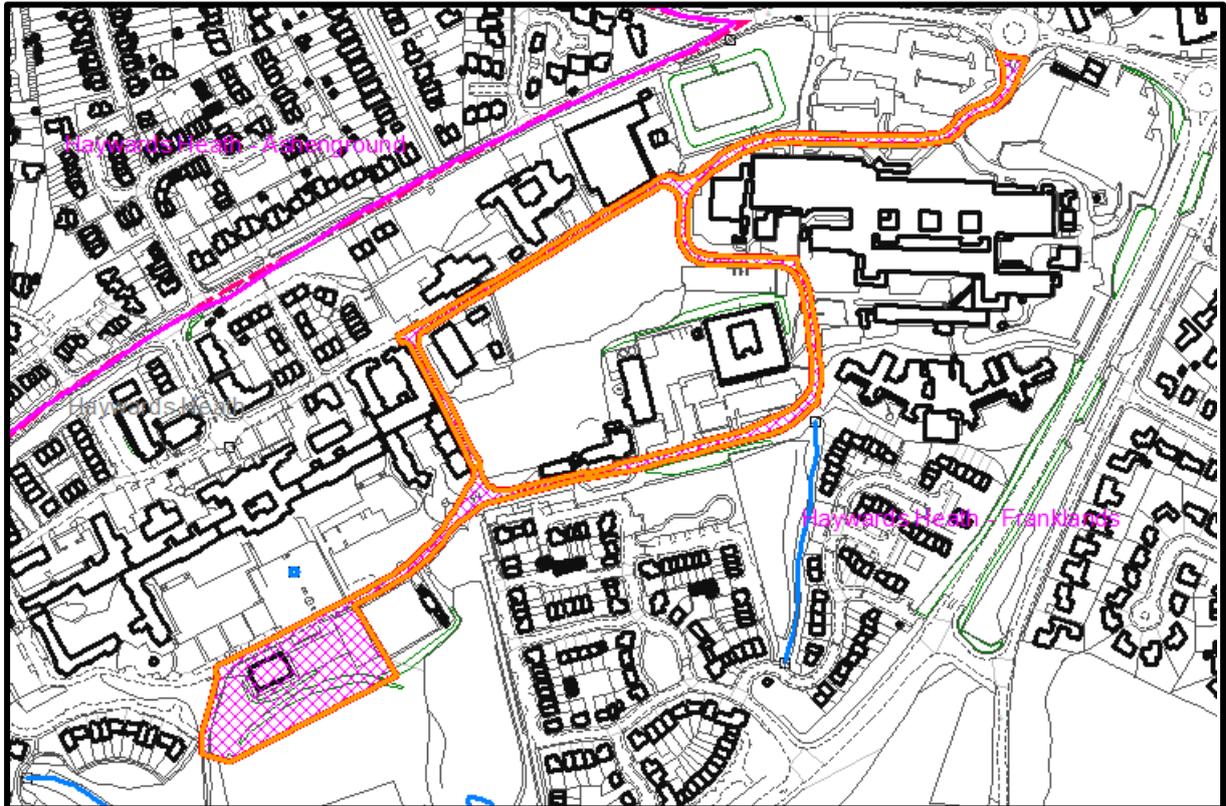
Planning Committee

6 FEB 2020

RECOMMENDED FOR PERMISSION

Haywards Heath

DM/19/3292



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ST FRANCIS SPORTS AND SOCIAL CLUB COLWELL ROAD HAYWARDS HEATH WEST SUSSEX

ADDITIONS TO EXISTING BUILDING TO CREATE NEW SINGLE-STOREY COMMUNITY HALL WITH ANCILLARY MEETING ROOM FACILITIES, SITE MUSEUM, WC FACILITIES PLUS PARKING AND EXTERNAL WORKS (AMENDED SCHEME TO THAT APPROVED UNDER DM/17/0852). AMENDED PLANS RECEIVED 30 OCTOBER 2019 AND 18 NOVEMBER 2019 SHOWING REDUCTION IN ROOF HEIGHT AND ADDITIONAL LANDSCAPING.

ST FRANCIS SPORTS AND SOCIAL CLUB COMMUNITY INTEREST COMPANY

POLICY: Areas of Special Control for Adverts / Built Up Areas / Classified Roads - 20m buffer / Planning Agreement / Planning Obligation / Supplemental Planning Agreement / Road Improvement Act Agreement / Aerodrome Safeguarding (CAA) / Sewer Line (Southern Water) / SWT Bat Survey / Tree Preservation Order / Highways Agreement (WSCC) /

ODPM CODE: Minor Other

8 WEEK DATE: 7th February 2020

WARD MEMBERS: Cllr Rod Clarke / Cllr Michael Pulfer /

CASE OFFICER: Joseph Swift

PURPOSE OF REPORT

To consider the recommendation of the Divisional Leader for Planning and Economy on the application for planning permission as detailed above.

EXECUTIVE SUMMARY

Planning permission is sought for erection of an extension to an existing building to form a new community hall, with ancillary facilities and parking, on land owned by the St Francis Sport and Social Club to the south of Southdowns Park, Haywards Heath. The site presently consists of a swimming pool building, tennis courts and sports pitches.

Planning legislation requires the application to be determined in accordance with the development plan unless material considerations indicate otherwise. It is therefore necessary for the planning application to be assessed against the policies in the development plan and then to take account of other material planning considerations including the National Planning Policy Framework (NPPF).

Policy DP25 of the Mid Sussex District Plan supports the provision or improvement of community facilities and local services that contribute to creating sustainable communities, while Policy L8 of the Haywards Heath Neighbourhood Plan relates specifically to enhancing facilities at St Francis Sports Site. As such the principle of development accords with the Development Plan.

On the positive side the development would provide improved community and recreational facilities that would be of benefit to local residents and the town as a whole. The proposed design and scale of the building is considered acceptable and while it does fall within the setting of Southdowns Park, a Grade II Listed Building, it is not considered that the proposal will cause harm to this heritage asset.

The proposal will however, result in some additional noise and disturbance to nearby residents in both Southdowns Park and Bowden Way. This will be generated by both the use of the building, in terms of the hosting of recorded amplified music events and people leaving late at night, and through additional traffic passing close to existing properties. While some elements can be mitigated to a degree through the use of planning conditions, there is likely to be a noticeable increase in noise and disturbance.

There will be a neutral impact upon on the Ashdown Forest Special Protection Area and Area of Conservation.

Permission has previously been approved for a larger scheme under application DM/17/0752, as such it is considered un-reasonable to take a different view with this application.

On balance, it is considered that the proposal is unlikely to give rise to significant impacts on existing residential amenity by virtue of noise and disturbance and as such the application complies with the relevant Development Plan policies. Moreover, the benefits of the proposed facility to the local community and town as whole (the encouragement and contribution towards the health and wellbeing of users as well as complementing the existing sporting facilities at the site) would outweigh the residential harm identified in this instance.

The application complies with Policies L8 and E9 of the Neighbourhood Plan and Policies DP21, DP25, DP26, DP29, DP34, DP37, DP39 and DP41 of the District Plan. There are no material considerations which indicate that a decision should not be taken in accordance with the development plan and accordingly the application is recommended for approval.

RECOMMENDATION

It is recommended that permission be approved subject to the conditions out in Appendix A.

SUMMARY OF REPRESENTATIONS

7 Letters of OBJECTION received, making the following comments:

- Traffic volume/construction traffic
- Air and noise pollution - for residents and wildlife
- Loss of Tennis courts
- Already have sufficient parking/exceeds peak occupancy
- Hours of opening
- Out of character/design
- No tree screening
- Un-authorised parking
- Light pollution
- Illegal parking

- Loss of a view
- Highway safety/ Private Roads
- Councillors links to St Francis Sports and Social Club

1 Third party letter has been received that does not object to the proposal subject to:

- Cars only being able to exit right (not through Southdowns Park)
- Planting of tree screen

SUMMARY OF CONSULTEES

WSSC Highways

Advisory comments - recommended conditions on car parking and construction management.

MSDC Conservation Officer

No objection subject to condition

MSDC Environmental Protection Officer

No objection subject to conditions

MSDC Community and Leisure Officer

The Council has offered grant funding toward this facility, subject to planning approval and a number of other special conditions, and is supportive of the proposal to provide a replacement for the Norman Hay Hall which was demolished to make way for additional housing at this site.

MSDC Drainage

No objection subject to condition

MSDC Tree Officer

No objection subject to condition

Haywards Heath Town Council

The Town Council notes the submission of amended plans (received by Mid Sussex District Council on 30/10/2019 and 18/11/2019) and supports the proposed amendments to reduce the height of the roof of the Community Hall and to add some further hedgerow/tree planting. In addition to reiterating the comments and observations that have already been submitted for this application (see below), the Town Council cannot emphasise strongly enough that a traffic management plan is essential for the private road network serving the site (i.e. within the Princess Royal Hospital/Southdowns Park complex) and that the NHS Trust (Princess Royal

Hospital) in particular must acknowledge that it has been consulted on the proposals and is fully aware of what is going on.

Original comments/observations submitted for this application on 19/09/2019

The Town Council fully supports this application which, like the earlier proposal approved under Mid Sussex District Council (MSDC) reference DM/17/0852, ties in with Policy L8 of the Haywards Heath Neighbourhood Plan. The provision of additional and enhanced facilities for use by the local community is to be welcomed.

Whilst the representations made by members of the public are duly noted, most of the concerns raised have already been addressed during the consideration and determination of the extant approved scheme. However, the Town Council concurs with the correspondence dated 13 June 2019 from MSDC's Team Leader (Major Development and Enforcement) to the architects, particularly where he comments 'in the submission of any revised application, very careful consideration is given to the matters that arise through the determination of the previous application, particularly in respect of the representations received.'

The Town Council also wishes to highlight the conclusions of RF Environmental regarding the noise impact of this new proposal, which state 'it can be concluded that the noise impact from the newly proposed building will be less than originally assessed at the properties to the west of the site, while there would no increase in noise at properties to the north of the site. Noise impact at properties to the east of the site would also be low due to distance. The noise control conditions included on the original planning consent would be adequate in controlling noise from the newly proposed development and no further assessment of noise impact is deemed to be necessary.'

The Town Council requests that all apposite comments and observations that it submitted in respect of application DM/17/0852 are taken into account when considering this latest proposal. For the record, these are laid out below.

INTRODUCTION

Planning permission is sought for erection of an extension to an existing building to form a new community hall, with ancillary facilities and parking, on land owned by the St Francis Sport and Social Club to the south of Southdowns Park, Haywards Heath. The site presently consists of a swimming pool building, tennis courts and sports pitches.

RELEVANT PLANNING HISTORY

DM/17/0852: Additions to existing building to create new community hall with ancillary meeting room facilities, site museum, wc, shower and changing facilities, plus parking and external works. Amended drawings and supporting documents received, dated the 5th June 2017. PERMISSION

SITE AND SURROUNDINGS

The application site consists of an existing swimming pool facility that is housed within a single storey brick built building, which lies on land to the south of Southdowns Park, a Grade II listed building. Immediately to the north is the part of the perimeter road serving Southdowns Park, with private parking spaces and landscaped gardens belonging to the development beyond.

To the east of the swimming pool building, and forming part of the application site, are two tennis courts, beyond which is the bowling green (not in the application site).

To west, beyond the existing entrance to the sports field, are a group established trees beyond which Bowden Way that forms part of the development of St Francis Park.

The swimming pool building site sites on top of an embankment that runs down towards the sports field to the south.

APPLICATION DETAILS

This application seeks planning permission for additions to existing building to create new single-storey Community Hall with ancillary meeting room facilities, site museum, WC facilities plus parking and external works.

The proposed main eastern addition to the building will utilise an area currently used as a tennis court. The proposed building extension would measure approximately 35 metres in width, by some 21 metres in depth, with a maximum eaves height of some 4.5 metres and a maximum height of approximately 6.35 metres.

The proposal is also seeking to construct a single storey addition, the same as approved under DM/17/0852 to the northern (front) elevation of the existing swimming pool building to provide a ladies changing room, men's changing room and ladies and men's WC's. The changing facilities extension would measure some 3.8 metres in depth, by some 16.1 metres in width, with an overall height of 3 metres.

The proposed community hall is of a fairly simple contemporary design, it has been shown that the proposal is to be constructed of stock facing brickwork and white render finished walls, profiled steel cladding roof in merlin grey and powder coated aluminium windows and doors.

The proposal is to include two parking areas, the second tennis court to the eastern (side) of the proposed community hall is to be converted into a total of 22 car parking spaces, 4 of which will be disabled parking spaces together with a bin store to the southern (rear) of the car park.

A second car park is also proposed to the western (side) of the existing swimming pool building which would provide 6 car parking spaces together with a cycle store. The existing 8 parking spaces to the northern (front) of the application site are to be

retained and users will also have access to a pay and display carpark to the east of the bowls club.

LIST OF POLICIES

Mid Sussex District Plan 2014-2031

DP21 - Transport
DP25 - Community Facilities and Local Services
DP26 - Character and Design
DP29 - Noise, Air and Light Pollution
DP34 - Listed Building and Other Heritage Assets
DP37 - Trees woodlands and Hedgerows
DP39 - Sustainable Design & Construction
DP41 - Flood risk and Drainage

Neighbourhood Plan

The Haywards Heath Neighbourhood Plan 2016 (HHNP) has been made and so forms part of the development plan. It is therefore a material consideration with full weight. Relevant policies are:

E9 (local character)
L8 (St Francis)

National Policy and Other Legislation

National Planning Policy Framework (NPPF) February 2019

The NPPF sets out the government's policy in order to ensure that the planning system contributes to the achievement of sustainable development. Paragraph 8 sets out the three overarching objectives: economic, social and environmental. This means ensuring sufficient land of the right types is available in the right places and at the right time to support growth; supporting strong, vibrant and healthy communities by ensuring a sufficient number and range of homes can be provided; fostering a well-designed and safe built environment; and contributing to protecting and enhancing the natural, built and historic environment; and using natural resources prudently. An overall objective of national policy is '*significantly boosting the supply of homes*'.

Paragraphs 10 and 11 apply a presumption in favour of sustainable development. Paragraph 11 states:

'For decision-taking this means:

- c) approving development proposals that accord with an up-to-date development plan without delay; or*
- d) where there are no relevant development plan policies, or the policies which are most important for determining the application are out-of-date, granting permission unless:*

- i. the application of policies in this Framework that protect areas or assets of particular importance provides a clear reason for refusing the development proposed; or*
- ii. any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in this Framework taken as a whole.'*

Para 12 states:

'The presumption in favour of sustainable development does not change the statutory status of the development plan as the starting point for decision making. Where a planning application conflicts with an up-to-date development plan (including any neighbourhood plans that form part of the development plan), permission should not usually be granted. Local planning authorities may take decisions that depart from an up-to-date development plan, but only if material considerations in a particular case indicate that the plan should not be followed.'

Para 38 states:

'Local planning authorities should approach decisions on proposed development in a positive and creative way. They should use the full range of planning tools available, including brownfield registers and permission in principle, and work proactively with applicants to secure developments that will improve the economic, social and environmental conditions of the area. Decision-makers at every level should seek to approve applications for sustainable development where possible.'

Para 47 states that the planning system is plan-led. Planning law requires that applications for planning permission must be determined in accordance with the development plan unless material considerations indicate otherwise.

National Planning Practice Guidance

ASSESSMENT

It is considered that the main issues needing consideration in the determination of this application are as follows;

- The principle of development;
- Access and Transport
- Design and Appearance
- Impact of Setting of Listed Building
- Impact on Residential Amenities
- Trees
- Ecology
- Ashdown Forest
- Drainage and Flooding
- Sustainability
- Other Matters
- Planning Balance and Conclusion

Principle of Development

Planning legislation holds that the determination of a planning application shall be made in accordance with the Development Plan unless material considerations indicate otherwise.

Specifically Section 70 (2) of the Town and Country Planning Act 1990 states:

'In dealing with such an application the authority shall have regard to:

- a) The provisions of the development plan, so far as material to application,*
- b) And local finance considerations, so far as material to the application, and*
- c) Any other material considerations.'*

Section 38(6) Planning and Compulsory Purchase Act 2004 provides:

'If regard is to be had to the development plan for the purposes of any determination to be made under the planning Acts the determination must be made in accordance with the plan unless material considerations indicate otherwise.'

Under section 38(5) of the Planning and Compulsory Purchase Act 2004 if a policy contained in a development plan for an area conflicts with another policy in the development plan, the conflict must be resolved in favour of the policy which is contained in the last document to be adopted, approved or published.

Using this as the starting point the development plan in this part of Mid Sussex consists of the Mid Sussex District Plan 2014-2031 (MSDP) and the Haywards Heath Neighbourhood Plan 2016 (HHNP).

Policy DP25 of the Mid Sussex District Plan supports the provision or improvement of community facilities and local services that contribute to creating sustainable communities.

Within the Neighbourhood Plan, Policy L8 relates specifically to enhancing facilities at St Francis Sports Site and states the following;

Land is allocated at the St. Francis Sports Site for the enhancement of the existing facilities. Proposals will have to demonstrate:

- that the height, scale, design and materials of any proposed buildings are appropriate to the site and its location;
- the height, scale, design and materials of the development will not harm the setting of the adjacent listed building;
- there is no harm arising to the adjoining ancient woodland;
- that satisfactory vehicular arrangements and servicing are secured;
- that there will be no unacceptable levels of light, noise, air or water pollution to the nearby residential properties;
- that adequate car and cycle parking can be provided on site;
- that the development will safeguard the amenities of the neighbouring properties.

Having regard for the above policies, the principle of development on this site is supported and as such careful consideration needs to be given to potential impacts arising from the proposal. This assessment will be undertaken in the following sections of the report.

Access and Transport

MSDP Policy DP21 states:

'Development will be required to support the objectives of the West Sussex Transport Plan 2011-2026, which are:

- *A high quality transport network that promotes a competitive and prosperous economy;*
- *A resilient transport network that complements the built and natural environment whilst reducing carbon emissions over time;*
- *Access to services, employment and housing; and*
- *A transport network that feels, and is, safer and healthier to use.*
- *To meet these objectives, decisions on development proposals will take account of whether:*
- *The scheme is sustainably located to minimise the need for travel noting there might be circumstances where development needs to be located in the countryside, such as rural economic uses (see policy DP14: Sustainable Rural Development and the Rural Economy);*
- *Appropriate opportunities to facilitate and promote the increased use of alternative means of transport to the private car, such as the provision of, and access to, safe and convenient routes for walking, cycling and public transport, including suitable facilities for secure and safe cycle parking, have been fully explored and taken up;*
- *The scheme is designed to adoptable standards, or other standards as agreed by the Local Planning Authority, including road widths and size of garages;*
- *The scheme provides adequate car parking for the proposed development taking into account the accessibility of the development, the type, mix and use of the development and the availability and opportunities for public transport; and with the relevant Neighbourhood Plan where applicable;*
- *Development which generates significant amounts of movement is supported by a Transport Assessment/ Statement and a Travel Plan that is effective and demonstrably deliverable including setting out how schemes will be funded;*
- *The scheme provides appropriate mitigation to support new development on the local and strategic road network, including the transport network outside of the district, secured where necessary through appropriate legal agreements;*
- *The scheme avoids severe additional traffic congestion, individually or cumulatively, taking account of any proposed mitigation;*
- *The scheme protects the safety of road users and pedestrians; and*
- *The scheme does not harm the special qualities of the South Downs National Park or the High Weald Area of Outstanding Natural Beauty through its transport impacts.*

Where practical and viable, developments should be located and designed to incorporate facilities for charging plug-in and other ultra-low emission vehicles.

Neighbourhood Plans can set local standards for car parking provision provided that it is based upon evidence that provides clear and compelling justification for doing so.'

The application is supported by a traffic report that has sought to consider the impact of the proposal on the local highway network. The comments made within the representations regarding the appropriateness of the traffic are noted.

Paragraph 109 of the NPPF states:

'Development should only be prevented or refused on highways grounds if there would be an unacceptable impact on highway safety, or the residual cumulative impacts on the road network would be severe.'

While Policy L8 of the Neighbourhood Plan requires proposals for the development of the site to demonstrate that satisfactory vehicular arrangements and servicing are secured. Full weight can be attached to this Neighbourhood Plan policy.

The site has no direct access onto the public highway network, the primary route (as advocated by the applicants) is via the main hospital access from the Lewes Road, utilising the largely one way perimeter service road round the hospital grounds. There is a secondary access point from Colwell Road that utilises the perimeter road around the Southdowns Park which while narrow, its flow is not restricted in any one direction. Both routes from the public highway utilise private roads, which are not in the ownership of the applicant.

It is acknowledged that it is the applicants desire to ensure users of the proposed development utilise the primary route through the hospital grounds, however, given that fact that this itself is outside the control of the applicants, as any user would have a choice of either route, and there is no physical barrier preventing one over the other (this is not in the gift of the applicants due to land ownership restrictions), the application, and the implications of the traffic generation, need to be determined on the basis that either route could be used.

Within the applicants Traffic Report it sets out:

New signage will be installed at the hospital site to direct visitors to and from the CiC hall avoiding any residential areas where possible.

Issues regarding the applicants legal right to utilise either access route and potential damage to these routes have been raised through representations.

As members will be aware, these issues are not material planning considerations and should not be taken into account in reaching a decision on this application. It will be a matter for the relevant parties to resolve outside the planning system should this prove to be necessary.

The Local Highway Authority have been consulted and given the fact that access is taken through private roads, their comments are advisory only however, they have

not raised any formal objection in relation to the connections to the public highway. They state;

'The proposal to create the above facilities and associated car parking has been considered by WSCC as the County Highway Authority previously in planning application DM-17-0852. As this is a proposal not within the public highway all comments are advisory.

Access

Access to the site is taken from Southdowns Park, a private residential link road on part of the former Princess Royal Hospital site in Haywards Heath. There will be two car parks each with an access onto Southdowns Park. This links into the public highway network at Colwell Road and the B2272 roundabout into the Hospital.

Visibility Splays

There are two access points from Southdowns Park. The western access is already in situ and the eastern access will be created as part of the new car parking area. It is advised these splays are in line with MFS guidance of 2.4m x 43m for a 30mph speed limit in both directions.

Car Parking

It is envisaged most residents will have no need to drive to the site and will walk or come by bike. As such the provision of spaces in the car park reflects this. 36 car parking spaces will be provided.

This is slightly under the 43 spaces recommended in the revised parking guidance for new developments. A 10% reduction; in spaces can be used in scenarios where expected parking levels may be lower.

Alternative parking areas have been identified by the applicant to cover this shortfall of 3 spaces. There is an existing pay and display car park located near to the site; which can be used during the day time and will be available for use free of charge during the evening and at weekends, offering an additional 50 spaces.

Within the new car parking areas there are 4 disabled spaces, in line with MFS guidance for a minimum 5% of spaces. Recent changes to our car parking standards now require new developments to provide 1% of its spaces for electric vehicle charging, or to supply ducting ready for any future demand as this is set to rise over the next 10 years.

Cycle Parking

Recommended cycle parking for a D2 use of this size is 1 space per 4 staff plus visitor/customer cycle parking.

11 cycle spaces are provided with a shelter over.

Trip Impact

As the club is a replacement for the Norman Hay Hall it is likely the trips to and from the site will not be any different to what was already occurring.

A TRICS analysis for a leisure and community centre with 958 sqm predicts an additional traffic generation of 127 trips per day with peaks occurring in the morning, lunchtime, and late afternoon. Weekends are not included in the analysis; but it is envisaged the trip rates may be higher but not in any way significant in highway capacity terms. Access can be made in and out of the site from both the east and the west which distributes the traffic around different parts of the network.

Local Issues

Local views from residents have highlighted there are issues with the width of the private access roads but these are not within the public highway. We advise where roads are narrow that passing places are provided. This will be the responsibility of the land owner to provide solutions to any road issues.'

With regard to the public highway, no objections have been raised with regard to local capacity issues or highway safety.

The alternative route (not proposed or encouraged by the applicant) via the Southdowns Park perimeter road is much more constrained, with narrow carriageways and in one spot, a 90 degree bend. The road carries two-way traffic flows although space for passing is limited. The Local Highway Authority that additional passing places should be provided is noted, although this is outside the control of the applicants.

Given the lack of any clear advice or evidence from the Local Highway Authority it is considered difficult to forward an objection on highway matters associated with the use of the private road network. In allocating the site within the Neighbourhood Plan the sub text to Policy L8 recognises that access is via network of private roads and that a balance needs to be struck between a number of sensitive issues. While it is clear that the possible use of the Southdowns Park perimeter road may give rise to amenity issues, these will be considered separately. Moreover, paragraph 109 of the NPPF states that proposals should only be prevented or refused on highway grounds if there would be an unacceptable impact on highway safety, or the residual cumulative impacts on the road network would be severe.' It is not considered that there is evidence to support such a stance in this instance.

Concern has been expressed regard the level of proposed car parking. The submitted drawings show that the existing tennis courts will be turned over to a car park with a total of 36 spaces provided, 4 of which would be for disabled users. The existing 8 spaces utilised by swimming pool users would also be retained in addition. The applicants control a nearby pay and display car park to the east of the existing bowling green that will be available as overflow, which can hold circa 50 vehicles. The Local Highway Authority have commented that under their existing standards a development like this would command a total of 43 spaces and as such it is

considered that the proposed level is sufficient. It would not be reasonable to forward an objection to the proposal on the basis of insufficient parking.

These issues have already been considered and approved under application DM/17/0752, as such it is considered un-reasonable to take a different view with this application. Furthermore, the applicants have confirmed that they will be installing the ducting for future proofing the car park for electric vehicle charging, details of which can be secured by a suitably worded condition.

In light of the above it is considered that the application complies with paragraph 109 of the NPPF, Policy DP21 of the Mid Sussex District Plan and Neighbourhood Plan policy L8.

Design and impact on the character of the area, including trees

MSDP policy DP26 concerns considerations of character and design and states:

'All development and surrounding spaces, including alterations and extensions to existing buildings and replacement dwellings, will be well designed and reflect the distinctive character of the towns and villages while being sensitive to the countryside. All applicants will be required to demonstrate that development:

- *is of high quality design and layout and includes appropriate landscaping and greenspace;*
- *contributes positively to, and clearly defines, public and private realms and should normally be designed with active building frontages facing streets and public open spaces to animate and provide natural surveillance;*
- *creates a sense of place while addressing the character and scale of the surrounding buildings and landscape;*
- *protects open spaces, trees and gardens that contribute to the character of the area;*
- *protects valued townscapes and the separate identity and character of towns and villages;*
- *does not cause significant harm to the amenities of existing nearby residents and future occupants of new dwellings, including taking account of the impact on privacy, outlook, daylight and sunlight, and noise, air and light pollution (see Policy DP29);*
- *creates a pedestrian-friendly layout that is safe, well connected, legible and accessible;*
- *incorporates well integrated parking that does not dominate the street environment, particularly where high density housing is proposed;*
- *positively addresses sustainability considerations in the layout and the building design;*
- *take the opportunity to encourage community interaction by creating layouts with a strong neighbourhood focus/centre; larger (300+ unit) schemes will also normally be expected to incorporate a mixed use element;*
- *optimises the potential of the site to accommodate development.'*

With regard to the Neighbourhood Plan policy L8, the height, scale and design of any proposed building should be appropriate to the site and location, while the more general policy E9 requires proposal, amongst other things, to protect and reinforce the local character within the locality of the site.

The existing pool building that occupies the site is single storey, with little architectural merit. The proposed small addition to its front, forming the changing room extension, will not appear intrusive and is appropriate in scale and size to the existing.

The proposed community hall to the eastern side of the existing swimming pool building would remain single storey in height, combined with the change in levels the size and scale of the proposal is appropriate to the locality and will not appear visually intrusive within the wider area. The simply contemporary design of the community hall is considered to be an improvement over the existing swimming pool building as such the general character and appearance of the area will be protected and reinforced.

In summary therefore, the requirements of the above policies relating to the visual impact of the development are deemed to be met.

Impact on setting of Listed Building

The LPA is under a duty by virtue of s.66 of the Listed Building and Conservation Area (LBCA) Act 1990 (General duty as respects listed buildings in exercise of planning functions): "In considering whether to grant planning permission for development which affects a listed building or its setting, the local planning authority or, as the case may be, the Secretary of State shall have special regard to the desirability of preserving the building or its setting or any features of special architectural or historic interest which it possesses".

Policy DP34 of the Mid Sussex District Plan in part states:

'Development will be required to protect listed buildings and their settings. This will be achieved by ensuring that:

- *A thorough understanding of the significance of the listed building and its setting has been demonstrated. This will be proportionate to the importance of the building and potential impact of the proposal;*
- *Alterations or extensions to a listed building respect its historic form, scale, setting, significance and fabric. Proposals for the conversion or change of use of a listed building retain its significance and character whilst ensuring that the building remains in a viable use;*
- *Traditional building materials and construction techniques are normally used. The installation of uPVC windows and doors will not be acceptable;*

- *Satellite antennae, solar panels or other renewable energy installations are not sited in a prominent location, and where possible within the curtilage rather than on the building itself;*
- *Special regard is given to protecting the setting of a listed building;*
- *Where the historic fabric of a building may be affected by alterations or other proposals, the applicant is expected to fund the recording or exploratory opening up of historic fabric.'*

The Council's Conservations Officer has comments on the application and has stated the following:

'Further to my previous comments I note that a revised plan has been submitted showing only very limited additional planting to the front of the building, facing towards the listed building. It has not been made clear why this planting cannot be more extensive than the very limited areas shown (for example underplanting around the base of the trees shown, or planting in place of the hard surfacing to the front of the swimming pool building where there are no entrances with the exception of doors to the plant room at the western end), and I would therefore suggest a landscaping condition and informative requiring further details of a scheme for the area to the north front of the building showing more extensive soft landscaping and ideally additional tree planting, to soften the appearance of the building and mitigate the impact of the development on views from Southdowns Park. I would be happy to discuss this with the applicant prior to submission (subject also of course to the Tree Officer's involvement or agreement as appropriate).

Subject to the above, I am satisfied that the development will preserve the setting of and views from the adjacent listed building, meeting the requirements of District Plan Policy DP34 and the relevant paragraphs of the NPPF.'

Your officer concurs with the assessment of the Conservation Officer in respect of this issue and subject to a landscaping condition to secure additional screening to the northern (front) of the application site the proposal is considered to comply with Policy DP34 of the Mid Sussex District Plan, the LBCA 1990 and the requirements of the NPPF.

Impact on Residential Amenity

The relevant part of MSDP policy DP26 provides that development should not cause significant harm to the amenities of existing nearby residents and future occupants of new dwellings, including taking account of the impact on privacy, outlook, daylight and sunlight, and noise, air and light pollution.

HHNP Policy H8 provides that development should safeguard privacy, daylight, sunlight and outlook of adjoining residents. In accordance with the law as set out above, as the more recently adopted development plan document policy, DP26 sets the test for the proposal.

There are two distinct groups of residents that could potentially be impacted by the proposals, those within Southdowns Park and those within Bowden Way. The following section of the report will look at both groups separately.

Southdowns Park

There are two main ways that the amenity of these residents could be impacted upon, firstly the building itself (including its use) and secondly by the traffic generated by the users of the proposed facility.

Given the distance, approximately 80m at its closest point, and the fact the application site is set at a lower level than the main Southdowns Park building, it is not considered that the proposed completed building would have a physical impact on current residential amenities through either loss of light or loss of outlook. The fact that a building can be seen, does not in itself make a proposal unacceptable and separate consideration has been given to any impact on the setting of Southdowns Park as a Listed Building, which has been addressed elsewhere in this report.

In terms of the intended use of the building itself, the main impact will arise from any noise generated and most likely source of unacceptable noise disturbance will arise through the holding of events utilising amplified music. These are more likely to represent private bookings (i.e. wedding receptions), rather than community hiring's, and will look to finish late in the evening. In respect of this aspect of the proposal the applicant will maintain a similar relationship as the previously approved community building, further to this we would be seeking to attach the same conditions as recommended by the Council's Environmental Protection Officer for the previous approval.

It is clear that conditions could be used to control noise levels from events to the point where the impact on adjacent residential amenity is acceptable. In addition, conditions are suggested by your officer to restrict the overall number of recorded amplified music events, while also preventing the use of live amplified music.

In terms of traffic generation, the main impact on amenity arises from increased noise and disturbance, particularly at night following any well attended events. This is a particular issue given the proximity of some dwellings to perimeter road.

The use of the primary traffic route, as promoted by the applicant, would see all users of the facility utilising the main hospital access. However, users would drive past the existing properties in Assisi Court and Kendall Court where a number of properties have a series of habitable windows facing the road at close proximity. This includes at ground floor level. While these properties are currently affected by the traffic movements of the hospital, occupiers of Southdowns Park and users of the current sports facilities, the increase in traffic generated from events held at the proposed facility, particularly at night when there would be a concentrated flow of movements once an event has finished, will be noticeable. The proposed restrictive conditions on the number of events that are most likely to generate a large amount of concentrated movements (i.e. recorded amplified music events like wedding receptions etc) will limit the potential impact, however, there will be an impact.

In the event that users of the proposed facility use the over optional route from the site, via the Southdowns Park perimeter road, then again you have properties in Wheeler Court, Lockhart Court, The Crescent The Willows and The Birches with windows serving habitable rooms in close proximity to the road. These properties currently have a much quieter relationship with the road, as they are not affected by the current hospital traffic. Again, the increase in traffic generated from events held at the proposed facility, particularly at night when there would be a concentrated flow of movements once an event has finished, will be noticeable. The proposed restrictive conditions on the number of events that are most likely to generate a large amount of concentrated movements (i.e. recorded amplified music events will limit the potential impact, however, there will be an impact.

Bowden Way

Bowden Way forms part of the St Francis Park development is located to the west of the application site. It is separated from the application site by an existing access track to sport fields and a mature vegetation belt, that lopes round to the north and forms the boundary to Southdowns Park perimeter road. Bowden Way is set at a significantly lower level than Southdowns Park.

No.23 Bowden Way is the closest property to the proposal, at a distance of approximately 90m. The current proposal has moved the community building from the western (side) of the swimming pool to the eastern side, which provides a significant improvement over the previously approved relationship which was also considered acceptable.

In terms of the physical form of the building, while views will be afforded of it through the existing vegetation belt, this in itself does not make it unacceptable. Given the distances involved and the intervening vegetation belt it is not considered that the building would appear overbearing or result in any loss of privacy or light to properties in Bowden Way and in particular No.23.

Having regard to the use of the building, then these properties are a similar distance to those in Southdowns Park itself, however, the comments of the Environmental Protection Officer indicate that with appropriate conditions controlling amplified music, nearby noise-sensitive properties should be safeguarded from potential noise disturbance to an acceptable level.

It is clear the proposal will have an impact on the residential amenities of nearby residents both in Southdowns Park and Bowden Way. Conditions are proposed that will help mitigate this to a point, however, additional noise and disturbance will occur, particularly from traffic generation and people leaving an event late at night. While every site needs to be considered on its own merit, it is worth pointing out that community/recreation facilities do exist in the middle of residential developments, Bolnore Village as an example, and they can operate without significant impact.

It is also worth noting that the previously application (DM/17/0852) has considered these issues and was approved. Furthermore, the current proposal is a reduction in floor space and as such the predicted trip movements has been reduced from 166 trips per day down to 127 trips per day. Consequently, these relationships which

have already been agreed are considered to be improved with the revised scheme due to a reduction in vehicle movements.

Having regard to suggested restrictive operational conditions and the relevant Development Plan policies, it is your officer's opinion, that on balance, the likely impact from the proposal on nearby residential amenity would not be so significant that would warrant a refusal in this instance. As such the proposal would comply with policy DP26 of the Mid Sussex District Plan and Policy L8 of the Neighbourhood Plan.

Trees

MSDP Policy DP37 supports the protection and enhancement of trees, woodland and hedgerows and encourages new planting.

The application is supported by an Arboricultural Implications Assessment which includes a classification table of all existing trees on site, a Tree Constraints Plan which includes details of protection and those trees identified for removal. The Proposed Site Plan shows the location of new (replacement) planting. Full details of this will be secured by an appropriately worded condition.

The comments of the Council's Tree Officer are set out in full in Appendix B. The original consultation response from the Tree Officer raised a number of concerns in regards to the proposal. However, amended plans have been submitted to address these comments. As such there is no objection for the Tree Officer in regards to the proposal.

In light of the above and subject to conditions securing the landscaping and tree protection mentions, it is considered to have an acceptable impact upon the trees.

Ecology

MSDP Policy DP38 seeks to protect and enhance biodiversity taking opportunities to improve, enhance, manage and restore bio diversity where possible. Unavoidable damage must be offset through ecological enhancement and mitigation measures.

Schedule 5 of the Wildlife and Countryside Act 1981 (as amended) lists species of animal (other than birds) which are provided special protection under the Act. Under Section 13 of the Wildlife and Countryside Act 1981 (as amended), all wild plants are protected from being uprooted without the consent of the landowner. In addition to the protection afforded by the Wildlife and Countryside Act 1981 (as amended), certain species are also covered by European legislation. These species are listed in Schedule 2 of the Conservation (Natural Habitats, 7c.) Regulations 1994 (as amended).

Paragraph 175 of the National Planning Policy Framework states:

'When determining planning applications, local planning authorities should apply the following principles:

- a) *if significant harm to biodiversity resulting from a development cannot be avoided (through locating on an alternative site with less harmful impacts), adequately mitigated, or, as a last resort, compensated for, then planning permission should be refused;*
- b) *development on land within or outside a Site of Special Scientific Interest, and which is likely to have an adverse effect on it (either individually or in combination with other developments), should not normally be permitted. The only exception is where the benefits of the development in the location proposed clearly outweigh both its likely impact on the features of the site that make it of special scientific interest, and any broader impacts on the national network of Sites of Special Scientific Interest;*
- c) *development resulting in the loss or deterioration of irreplaceable habitats (such as ancient woodland and ancient or veteran trees) should be refused, unless there are wholly exceptional reasons and a suitable compensation strategy exists; and*
- d) *development whose primary objective is to conserve or enhance biodiversity should be supported; while opportunities to incorporate biodiversity improvements in and around developments should be encouraged, especially where this can secure measurable net gains for biodiversity.'*

The application has been submitted with an Ecological Report undertaken in August 2019 which indicated that the with the 8 surveys undertaken no reptiles were encountered.

Overall it is considered that the impacts upon biodiversity would be acceptable and in accordance with the above mentioned policies.

Ashdown Forest

Under the Conservation of Habitats and Species Regulations 2017 (as amended) (the 'Habitats Regulations'), the competent authority - in this case, Mid Sussex District Council - has a duty to ensure that any plans or projects that they regulate (including plan making and determining planning applications) will have no adverse effect on the integrity of a European site of nature conservation importance. The European site of focus is the Ashdown Forest Special Protection Area (SPA) and Special Area of Conservation (SAC).

The potential effects of development on Ashdown Forest were assessed during the Habitats Regulations Assessment process for the Mid Sussex District Plan. This process identified likely significant effects on the Ashdown Forest SPA from recreational disturbance and on the Ashdown Forest SAC from atmospheric pollution.

A Habitats Regulations Assessment screening report has been undertaken for the proposed development.

Recreational disturbance

Increased recreational activity arising from new residential development and related population growth is likely to disturb the protected near-ground and ground nesting birds on Ashdown Forest.

In accordance with advice from Natural England, the HRA for the Mid Sussex District Plan, and as detailed in the District Plan Policy DP17, mitigation measures are necessary to counteract the effects of a potential increase in recreational pressure and are required for developments resulting in a net increase in dwellings within a 7km zone of influence around the Ashdown Forest SPA. A Suitable Alternative Natural Greenspace (SANG) and Strategic Access Management and Monitoring (SAMM) mitigation approach has been developed. This mitigation approach has been agreed with Natural England.

This planning application does not result in a net increase in dwellings within the 7km zone of influence and so mitigation is not required.

Atmospheric pollution

Increased traffic emissions as a consequence of new development may result in additional atmospheric pollution on Ashdown Forest. The main pollutant effects of interest are acid deposition and eutrophication by nitrogen deposition. High levels of nitrogen may detrimentally affect the composition of an ecosystem and lead to loss of species.

The potential effects of the proposed development are incorporated into the overall results of the transport model (Mid Sussex Transport Study (Updated Transport Analysis)), which indicates there would not be an overall impact on Ashdown Forest. This means that there is not considered to be a significant in combination effect on the Ashdown Forest SAC by this development proposal.

Conclusion of the Habitats Regulations Assessment screening report

The screening assessment concludes that there would be no likely significant effects, alone or in combination, on the Ashdown Forest SPA and SAC from the proposed development.

No mitigation is required in relation to the Ashdown Forest SPA or SAC.

A full HRA (that is, the appropriate assessment stage that ascertains the effect on integrity of the European site) of the proposed development is not required.

Drainage and Flooding

MSDP Policy DP41 seeks to ensure a sequential approach and ensure that development is safe across its lifetime and not increase the risk of flooding elsewhere.

The proposed development is within flood zone 1 and is at low fluvial flood risk. The proposed development is not within an area identified as having possible surface

water (pluvial) flood risk. There are not any historic records of flooding occurring on this site and in this area.

It is proposed to discharge surface water will utilise a soakaway and It is proposed that the foul drainage will discharge into the public foul sewers.

The Council's Drainage Engineer has reviewed the drainage proposal and has raised no objections to the proposal subject to a condition.

Subject to an appropriately worded condition the scheme is considered to be compliant with the above policy.

Sustainability

MSDP Policy DP21 relates to transport and requires schemes to be '*sustainably located to minimise the need for travel*' and take '*opportunities to facilitate and promote the increased use of alternative means of transport to the private car, such as the provision of, and access to, safe and convenient routes for walking, cycling and public transport, including suitable facilities for secure and safe cycle parking*'. In addition it requires where '*practical and viable, developments should be located and designed to incorporate facilities for charging plug-in and other ultra-low emission vehicles.*'

Paragraph 148 of the NPPF states:

'The planning system should support the transition to a low carbon future in a changing climate, taking full account of flood risk and coastal change. It should help to: shape places in ways that contribute to radical reductions in greenhouse gas emissions, minimise vulnerability and improve resilience; encourage the reuse of existing resources, including the conversion of existing buildings; and support renewable and low carbon energy and associated infrastructure.'

Paragraph 153 states:

'In determining planning applications, local planning authorities should expect new development to:

- a) *comply with any development plan policies on local requirements for decentralised energy supply unless it can be demonstrated by the applicant, having regard to the type of development involved and its design, that this is not feasible or viable; and*
- b) *take account of landform, layout, building orientation, massing and landscaping to minimise energy consumption.'*

The development is situated in a sustainable town location with good access to public transport alternatives to the private car. It is also within walking distance of a wide range of local services and amenities.

MSDP Policy DP39 relates to Sustainable Design and Construction and requires development proposals to improve the sustainability of development and where appropriate and feasible (according to the type and size of development and location), incorporate measures including minimising energy use through the design and layout of the scheme; maximise efficient use of resources, including minimising waste and maximising recycling/re-use of materials through both construction and occupation.

The applicant advises that the scheme would incorporate the following measures:

- Exceed requirements of the latest building regulations
- Low consumption fixtures and fittings (water)
- Auto off/sensor taps
- Low energy lighting
- A rated white goods
- Provision of PV panels
- Air source heat pumps

It is considered that the proposal satisfactorily complies with the requirements of policy DP39.

The proposal is in overall terms considered to be acceptable in sustainability terms.

Other Planning Issues

The applicants have confirmed that the proposed community hall would be fully compliant with building regulations for disabled access.

Concerns has been raised within the representations regarding the Councillors links to St Francis Sports and Social Club, however, as part of the committee process members will declare if they have any interest.

Concern has been expressed in a number of representations in relation to increased security fears as a result of the proposal, particularly in relation to trespass and vandalism. The control of such matters would fall under the control of other legislation that sit outside the control of a planning application and such matters should not form a reason for refusing this current application.

Planning Balance and Conclusion

Planning permission is sought for erection of an extension to an existing building to form a new community hall, with ancillary facilities and parking, on land owned by the St Francis Sport and Social Club to the south of Southdowns Park, Haywards Heath. The site presently consists of a swimming pool building, tennis courts and sports pitches.

Planning legislation requires the application to be determined in accordance with the Development Plan unless material considerations indicate otherwise. It is therefore necessary for the planning application to be assessed against the policies in the

Development Plan and then to take account of other material planning considerations including the NPPF.

Policy DP25 of the Mid Sussex District Plan supports the provision or improvement of community facilities and local services that contribute to creating sustainable communities, while Policy L8 of the Haywards Heath Neighbourhood Plan relates specifically to enhancing facilities at St Francis Sports Site. As such the principle of development accords with the Development Plan.

On the positive side the development would provide improved community and recreational facilities that would be of benefit to local residents and the town as a whole. The proposed design and scale of the building is considered acceptable and while it does fall within the setting of Southdowns Park, a Grade II Listed Building, it is not considered that the proposal will cause harm to this heritage asset.

The proposal will however, result in additional noise and disturbance to nearby residents in both Southdowns Park and Bowden Way. This will be generated by both the use of the building, in terms of the hosting of recorded amplified music events and people leaving late at night, and through additional traffic passing close to existing properties. While some elements can be mitigated to a degree through the use of planning conditions, there is likely to be a noticeable increase in noise and disturbance.

There will be a neutral impact upon on the Ashdown Forest Special Protection Area and Area of Conservation.

Permission has previously been approved for a larger scheme under application DM/17/0752, as such it is considered un-reasonable to take a different view with this application.

On balance, it is considered that the proposal is unlikely to give rise to significant impacts on existing residential amenity by virtue of noise and disturbance and as such the application complies with the relevant Development Plan policies. Moreover, the benefits of the proposed facility to the local community and town as whole (the encouragement and contribution towards the health and wellbeing of users as well as complementing the existing sporting facilities at the site) would outweigh the residential harm identified in this instance.

The application complies with Policies L8 and E9 of the Neighbourhood Plan and Policies DP21, DP25, DP26, DP29, DP34, DP37, DP39 and DP41 of the District Plan. There are no material considerations which indicate that a decision should not be taken in accordance with the development plan and accordingly the application is recommended for approval.

APPENDIX A – RECOMMENDED CONDITIONS

1. The development hereby permitted shall be begun before the expiration of 3 years from the date of this permission.

Reason: To enable the Local Planning Authority to control the development in detail and to comply with Section 92 of the Town and Country Planning Act 1990.

2. No development shall take place, including any works of demolition, until a Construction Management Plan has been submitted to and approved in writing by the Local Planning Authority. Thereafter the approved Plan shall be implemented and adhered to throughout the entire construction period. The Plan shall provide details as appropriate but not necessarily be restricted to the following matters,
 - the anticipated number, frequency and types of vehicles used during construction,
 - the method of access and routing of vehicles during construction,
 - the parking of vehicles by site operatives and visitors,
 - the loading and unloading of plant, materials and waste,
 - the storage of plant and materials used in construction of the development,
 - the erection and maintenance of security hoarding,
 - the provision of wheel washing facilities and other works required to mitigate the impact of construction upon the public highway (including the provision of temporary Traffic Regulation Orders),
 - details of public engagement both prior to and during construction works.
 - Scheme to minimise dust emissions from the site

Reason: To ensure safe and neighbourly construction in the interests of amenity and road safety and to accord with policies L8 and E9 of the Neighbourhood Plan and policy DP21 of the District Plan 2014-2031.

3. No development shall be carried out unless and until samples/a schedule of materials and finishes to be used for external walls and roofs of the proposed dwellings have been submitted to and approved by the Local Planning Authority. The scheme shall only be implemented in accordance with the approved details.

Reason: To enable the Local Planning Authority to control the development in detail in the interests of amenity by endeavouring to achieve a building of visual quality and to accord with Policies L8 and E9 of the Neighbourhood Plan and Policies DP26 and DP34 of the District Plan 2014-2031.

4. No development shall take place unless and until there has been submitted to and approved in writing by the Local Planning Authority full details of both hard and soft landscaping, which shall include indications of all existing trees and hedgerows on the land, and details of those to be retained, together with measures for their protection in the course of development and these works shall be carried out as approved.

Reason: In the interests of visual amenity and of the environment of the development and to accord with Policy L8 of the Neighbourhood Plan and Policy DP26 of the District Plan 2014-2031.

5. The development hereby permitted shall not commence unless and until details of the proposed foul and surface water drainage and means of disposal have been

submitted to and approved in writing by the local planning authority. The extension/building shall not be occupied until all the approved drainage works have been carried out in accordance with the agreed details.

Reason: To ensure that the proposal is satisfactorily drained and to accord with the NPPF requirements, Policy DP41 of the District Plan 2014 - 2031.

6. No development shall take place until a scheme has been submitted to and approved in writing by the Local Planning Authority for external site lighting including details of the lighting units, levels of illumination and hours of use. No lighting shall be provided at the site other than in accordance with the approved details.

Reason: To protect the amenity of local residents from light disturbance and to accord with Policy L8 of the Neighbourhood Plan and Policy DP26 of the District Plan 2014-2031.

7. Details of the fenestration and external doors, to include elevations and section indicating profile and depth of reveal, shall be submitted and approved in writing by the Local Planning Authority prior to work commencing in respect of this part of the development. The development shall not be carried out otherwise than in accordance with such details.

Reason: To ensure that this aspect of the development is compatible with the design of the building and to accord with Policies DP26 and DP34 of the District Plan 2014 - 2031 and Policies L8 and E9 of the Neighbourhood Plan.

8. No development shall take place until details of proposed means of enclosure have been submitted to and approved by the Local Planning Authority and the approved building shall be used until such means of enclosure associated with it has been erected.

Reason: In order to protect the appearance of the area and to accord with and Policy DP26 of the Mid Sussex District Plan 2014 - 2031 and Policy L8 of the Neighbourhood Plan.

9. Works of construction or demolition, including the use of plant and machinery, necessary for implementation of this consent shall be limited to the following times:

Monday - Friday 08:00 - 18:00 Hours
Saturday 09:00 - 13:00 Hours
Sundays and Bank/Public Holidays no work permitted.

Reason: To protect the amenity of local residents and to accord with Policy DP26 of the Mid Sussex District Plan 2014 - 2031.

10. No burning of demolition or construction waste material shall take place on the site.

Reason: To protect the amenity of neighbouring residents and to accord with Policy DP26 of the Mid Sussex District Plan 2014 - 2031.

11. No part of the development hereby approved shall be used until the car parking has been constructed in accordance with the approved site plan. These spaces shall thereafter be retained at all times for their designated purpose.

Reason: To ensure adequate parking provision is provided for the proposed development and to accord with Policy L8 of the Neighbourhood Plan and Policy DP21 of the District Plan 2014-2031.

12. The secure cycle parking spaces shall be provided in accordance with the approved plans prior to the occupation of the community hall.

Reason: To provide alternative travel options to the use of the car in accordance with current sustainable transport policies and to accord with Policy L8 of the Neighbourhood Plan and Policy DP21 of the District Plan 2014-2031.

13. Amplified music, or speech generated on the premises shall be inaudible within any neighbouring residential dwelling between the hours of 23:00hrs and 09:00hrs. Inaudibility shall be defined as: the LAeq,1 min (music playing) shall not exceed the background LA90, 5min (music off), and L10, 1min (music on) should not exceed L90, 5 min (music off) in any 1/3 octave band between 40 and 160Hz, when measured within any habitable room in a neighbouring residential dwelling.

Reason: To safeguard the amenities of the neighbouring residential properties and to accord with Policy L8 of the Neighbourhood Plan and Policy DP26 of the District Plan.

14. The building hereby approved shall only operate between the following hours;

07:00 - 22:30 Mondays - Thursdays and Sundays
07:00 - 23:30 Fridays, Saturdays and Bank Holidays

Reason: To protect local residential amenity and to accord with Policy L8 of the Neighbourhood Plan and Policy DP26 of the District Plan.

15. The number of recorded amplified events shall be limited to no more than 12 per calendar year, with a maximum of 2 events per calendar month. For the sake of clarity recorded amplified events are defined, in this instance, as private hiring's consisting of parties, wedding reception or other such celebrations of social gatherings but does not include hiring's such as exercise classes, drama productions or community events.

Reason: To protect local residential amenity and to accord with Policy L8 of the Neighbourhood Plan and Policy DP26 of the District Plan.

16. No live amplified music events, or events containing live amplified music, shall be held in the building hereby approved.

Reason: To protect local residential amenity and to accord with Policy L8 of the Neighbourhood Plan and Policy DP26 of the District Plan.

17. No development shall be carried out above ground slab level unless and until details of charging points/ducting for electric cars to be provided on the site have been submitted to and approved in writing by the local planning authority. The development shall be carried out in accordance with those approved details and thereafter retained unless otherwise agreed in writing by the Council.

Reason: To provide for the use of low emission cars in accordance with current sustainable transport policies and to accord with Policy DP21 of the District Plan.

INFORMATIVES

1. In accordance with Article 35 of the Town and Country Planning (Development Management Procedure) (England) Order 2015, the Local Planning Authority has acted positively and proactively in determining this application by identifying matters of concern within the application (as originally submitted) and negotiating, with the Applicant, acceptable amendments to the proposal to address those concerns. As a result, the Local Planning Authority has been able to grant planning permission for an acceptable proposal, in accordance with the presumption in favour of sustainable development, as set out within the National Planning Policy Framework.

Plans Referred to in Consideration of this Application

The following plans and documents were considered when making the above decision:

Plan Type	Reference	Version	Submitted Date
Location Plan	0815/3/P1	-	15.08.2019
Block Plan	0815/3/P2	-	15.08.2019
Existing Site Plan	0815/3/P3	-	15.08.2019
Site Plan	0815/3/P4	-	15.08.2019
Proposed Site Plan	0815/3/P5	B	18.11.2019
Planning Layout	0815/3/P6	B	18.11.2019
Site Waste Management Plan	0815/3/P7	-	15.08.2019
Existing Floor Plans	0815/3/P10	-	15.08.2019
Proposed Floor Plans	0815/3/P11	A	11.09.2019
Proposed Roof Plan	0815/3/P12	-	15.08.2019
Proposed Elevations	0815/3/P13	A	20.10.2019

APPENDIX B – CONSULTATIONS

Haywards Heath Town Council Comments:

Additions to existing building to create new single storey Community Hall with ancillary meeting room facilities, site museum, WC facilities plus parking and external works (amended scheme to that approved under DM/17/0852). Amended plans received 30 October 2019 and 18 November 2019 showing reduction in roof height and additional landscaping.

The Town Council notes the submission of amended plans (received by Mid Sussex District Council on 30/10/2019 and 18/11/2019) and supports the proposed amendments to reduce the height of the roof of the Community Hall and to add some further hedgerow/tree planting. In addition to reiterating the comments and observations that have already been submitted for this application (see below), the Town Council cannot emphasise strongly enough that a traffic management plan is essential for the private road network serving the site (i.e. within the Princess Royal Hospital/Southdowns Park complex) and that the NHS Trust (Princess Royal Hospital) in particular must acknowledge that it has been consulted on the proposals and is fully aware of what is going on.

Original comments/observations submitted for this application on 19/09/2019

The Town Council fully supports this application which, like the earlier proposal approved under Mid Sussex District Council (MSDC) reference DM/17/0852, ties in with Policy L8 of

the Haywards Heath Neighbourhood Plan. The provision of additional and enhanced facilities for use by the local community is to be welcomed.

Whilst the representations made by members of the public are duly noted, most of the concerns raised have already been addressed during the consideration and determination of the extant approved scheme. However, the Town Council concurs with the correspondence dated 13 June 2019 from MSDC's Team Leader (Major Development and Enforcement) to the architects, particularly where he comments 'in the submission of any revised application, very careful consideration is given to the matters that arise through the determination of the previous application, particularly in respect of the representations received.'

The Town Council also wishes to highlight the conclusions of RF Environmental regarding the noise impact of this new proposal, which state 'it can be concluded that the noise impact from the newly proposed building will be less than originally assessed at the properties to the west of the site, while there would no increase in noise at properties to the north of the site. Noise impact at properties to the east of the site would also be low due to distance. The noise control conditions included on the original planning consent would be adequate in controlling noise from the newly proposed development and no further assessment of noise impact is deemed to be necessary.'

The Town Council requests that all apposite comments and observations that it submitted in respect of application DM/17/0852 are taken into account when considering this latest proposal. For the record, these are laid out below.

Comments/observations submitted re DM/17/0852

The enhancement of the existing facilities at the St. Francis Sports Site is covered under Policy L8 of the Haywards Heath Neighbourhood Plan and the Town Council welcomes the opportunity to comment on this planning application which seeks to make various additions to the existing building.

The Town Council is mindful of the sensitivities of the site in relation to its proximity to existing residential properties and its setting beneath the Grade II listed former St. Francis Hospital buildings, now known as Southdowns Park. After due consideration of the proposals, the Town Council supports this application in principle, subject to the following caveats:

- there should be a comprehensive review/investigation of any restrictive covenants that may apply to the site;
- an existing car park - not part of this application - near to the bowls club shall be made available as an overflow car park for the new facility and shall remain so in perpetuity;
- a Noise Management Plan shall be implemented in order to monitor and control any noise that may be generated as a result of events being held at the facility. Section 6.0 (Noise Management and Control) of the Noise Assessment and Noise Management Plan (Technical Report: RFE-130- 17-02) that accompanies the application would seem to cover the requirements necessary in order to safeguard resident amenity;
- whilst acknowledging that an independent Traffic Report has been prepared in support of the application, it is requested that a 'site visited' traffic survey - as opposed to a desktop study - be carried out by West Sussex County Council in its capacity as local highway authority;
- in advance of any development taking place on the site, there must be 'official' sight of any legal Agreement that confirms the St. Francis Social and Sports Club's (SFSSC's) right of access over the road network within the Princess Royal Hospital site;

- where necessary, and particularly at the western boundary of the site, i.e. that nearest to Bowden Way, SFSSC shall erect fencing to prevent any external (and unauthorised) pedestrian access to the site other than by the permitted formal entrance and the public footpath close to the bowling green car park;
- the area of woodland at the south-western corner of the site shall be supplemented by additional planting in order to help close any gaps in the landscape screen and thus protect resident amenity in Bowden Way, etc.;
- regarding commercial deliveries and collections (including the removal of waste/refuse bins), there shall be none on Bank/Public Holidays or at any other time except between the hours of 08:00 and 18:00 Mondays to Fridays, and 09:00 and 13:00 Saturdays and/or Sundays; reason - to safeguard the amenities of nearby residents and to accord with Policies B3 and B23 of the Mid Sussex Local Plan and Policy DP27 of the draft Mid Sussex District Plan;
- the proposal shall be tested against all relevant policies contained within the Haywards Heath Neighbourhood Plan, with particular focus being given to Policy E9;
- there shall be no movement of glass within, to or from the facility ('bottling out') outside the hours of 08:00 to 20:00 daily; reason - to safeguard the amenities of nearby residents and to accord with Policies B3 and B23 of the Mid Sussex Local Plan and Policy DP27 of the draft Mid Sussex District Plan;
- throughout the construction period, the hours of works and any associated deliveries shall be restricted to 08:00 to 18:00 hours Monday to Fridays, 09:00 to 13:00 hours Saturdays, and no works on Sundays or Bank/Public Holidays; reason - to safeguard the amenities of nearby residents and to accord with Policies B3 and B23 of the Mid Sussex Local Plan and Policy DP27 of the draft Mid Sussex District Plan;
- with regard to the private road network serving the site, i.e. within the Princess Royal Hospital/Southdowns Park complex, there should be a fair and transparent Agreement between all permitted users of the road - which would include SFSSC - to ensure that they contribute their fair share to a separate fund, established and ring-fenced for road maintenance and road
- replacement in due course. All stakeholder interests in the road and its sustainability should be agreed as a planning condition in order to protect the wider public interest of continuity of access, the investment of public resources and to deliver the fiduciary duty of care to the Section 106 funding secured via the Mid Sussex District Council (MSDC) Cabinet Grants Panel;
- any proposed exterior lighting installations, e.g. street lights, shall have a warm LED light with a correlated colour temperature of between 2700K and 3000K; reason - to safeguard the amenities of nearby residents and to accord with Policy B24 of the Mid Sussex Local Plan and Policy DP27 of the draft Mid Sussex District Plan;
- no development shall take place until a Construction Management Plan (CMP) has been submitted to and approved by MSDC. The approved CMP shall be implemented and adhered to throughout the construction period and shall stipulate that all construction traffic must access and leave the application site via the main entrance to the Princess Royal Hospital, i.e. from the roundabout on the B272. Use of the access off Colwell Road, through Southdowns Park, shall be prohibited.

SFSSC shall arrange for directional signposts to be installed at key points throughout the Princess Royal Hospital road network so as to clearly inform construction traffic of the direction of travel. Looking at the proposed layout of the site, and in the interests of resident amenity in Bowden Way in particular, Members would like to know whether there would be any merit in repositioning the 4 (staff) parking spaces and the refuse bin store away from the south-western side of the site. However, this would have to be achieved without being detrimental to residents elsewhere, e.g. in Southdowns Park.

Further comments from Haywards Heath Town Council following the applicant's submission of amended drawings and supporting documents to Mid Sussex District Council (dated 5 June 2017).

The Town Council's position regarding this application remains one of support in principle. This accords with Policy L8 of the Haywards Heath Neighbourhood Plan.

The Town Council acknowledges that these amended plans go some way towards addressing concerns and issues that were raised when the application was first considered on 27 March 2017. At that time, there was particular focus on safeguarding the amenities of residents living in Bowden Way and Southdowns Park. However, Members are of the opinion that even with the amendments and additional documentation (traffic report), the application is lacking in crucial information relating to the predicted flow and management of traffic throughout the private road network serving the site (i.e. within the Princess Royal Hospital/Southdowns Park complex), not only during the construction period but beyond.

The Town Council was disappointed that a detailed traffic management report still remains outstanding and so requests that an all-embracing traffic management scheme is produced and that all stakeholders, the NHS Trust in particular, are formally consulted on the proposals. It must be obligatory for all traffic, construction or otherwise, to access and leave the application site via the main entrance to the Princess Royal Hospital, i.e. from the roundabout on the B272. Use of the access off Colwell Road, through Southdowns Park, should be prohibited.

Remaining on the subject of traffic management, the Town Council further requests that West Sussex County Council, in its capacity as highway authority, assesses the likely impact of construction traffic on the public highway in the locality. This should be by means of a 'site visited' traffic survey as opposed to a desktop study. In the interests of highway safety in what is a busy and densely populated area, construction traffic must be directed to arrive at and leave the Princess Royal Hospital main entrance via the Haywards Heath relief road (A272) roundabout to the east. This would prevent heavy goods vehicles from using other roads to the west - e.g. Franklynn Road, Colwell Road and Wivelsfield Road - as a short cut. Indeed Colwell Road, which is always heavily congested with onstreet parking on its northern side, must be designated as off-limits to construction traffic at all times.

The Town Council remains concerned regarding the adequacy of parking facilities and how any overflow of cars will be debarred from parking in the Southdowns Park residences parking or surrounding roads.

The Town Council welcomes the inclusion of a 2 metre high close boarded fence along the entire length of the western boundary of the application site. However, Members understand that this may not extend far enough to prevent unauthorised pedestrian access to and from the site via Bowden Way. Therefore, the Town Council asks the St. Francis Social and Sports Club to revisit this issue in order to come up with a solution that would be acceptable to all parties. It may be helpful to consult with residents of Bowden Way to establish what their expectations are.

The Town Council asks that all comments and observations that remain apposite from its original submission dated 5 April 2017 are taken into consideration by Mid Sussex District Council when determining the application. The proposals must be tested against all relevant policies contained within the Haywards Heath Neighbourhood Plan, notably Policies L8 and E9:

Policy L8

Land is allocated at the St. Francis Sports Site for the enhancement of the existing facilities. Proposals will have to demonstrate:

- that the height, scale, design and materials of any proposed buildings are appropriate to the site and its location;
- the height, scale, design and materials of the development will not harm the setting of the adjacent listed building;
- there is no harm arising to the adjoining ancient woodland;
- that satisfactory vehicular arrangements and servicing are secured;
- that there will be no unacceptable levels of light, noise, air or water pollution to the nearby residential properties;
- that adequate car and cycle parking can be provided on site;
- that the development will safeguard the amenities of the neighbouring properties.

Policy E9

Developers must demonstrate how their proposal will protect and reinforce the local character within the locality of the site. This will include having regard to the following design elements:

- height, scale, spacing, layout, orientation, design and materials of buildings;
- the scale, design and materials of the development (highways, footways, open space and landscape), and is sympathetic to the setting of any heritage asset;
- respects the natural contours of a site and protects and sensitively incorporates natural features such as trees, hedges and ponds within the site;
- creates safe, accessible and well-connected environments that meet the needs of users;
- will not result in unacceptable levels of light, noise, air or water pollution;
- makes best use of the site to accommodate development;
- car parking is designed and located so that it fits in with the character of the proposed development.

Proposals affecting a listed building, conservation area, building of local interest or public park of historic interest or their setting should preserve or enhance their special interest and/or distinctive character.

Conservation Officer;

Further to my previous comments I note that a revised plan has been submitted showing only very limited additional planting to the front of the building, facing towards the listed building. It has not been made clear why this planting cannot be more extensive than the very limited areas shown (for example underplanting around the base of the trees shown, or planting in place of the hard surfacing to the front of the swimming pool building where there are no entrances with the exception of doors to the plant room at the western end), and I would therefore suggest a landscaping condition and informative requiring further details of a scheme for the area to the north front of the building showing more extensive soft landscaping and ideally additional tree planting, to soften the appearance of the building and mitigate the impact of the development on views from Southdowns Park. I would be happy to discuss this with the applicant prior to submission (subject also of course to the Tree Officer's involvement or agreement as appropriate).

Subject to the above, I am satisfied that the development will preserve the setting of and views from the adjacent listed building, meeting the requirements of District Plan Policy DP34 and the relevant paragraphs of the NPPF.

Tree Officer:

19/09/2019

I have reviewed the combined Ecological and Arboricultural Report dated Aug 19 and the accompanying drawings and have the following comments:

- Four Category A trees, 2 Category B trees and 1 Category C tree are to be felled to accommodate the proposed development. This is a significant loss of healthy trees, particularly the Category A & B trees. New tree planting has been listed on drawing 0815/3/P6 to mitigate the loss. However it has been recommended in the report to plant Hawthorn (*Crataegus monogyna*) and Rowan (*Sorbus aucuparia*) to provide compatibility to the Ancient Woodland to the south-west of the site. Rowan is on the list however Hawthorn is not. Please ensure Hawthorn is added to the list of tree plantings and shown on the relevant drawings.
- In addition due to the loss of such significant trees I request the replacement trees to be of a more substantial size than presently shown. For guidance I suggest at the very least T2 - Oaks and T3 - Field Maple should be Heavy Standards.
- The tree protection fencing shown around T20 and T21 (figure 4 within the report) is not shown on drawings 0815/3/P5 and P6. Please can these be amended.
- The impact on the RPA of T8 and T16 appear to be quite substantial and clearly falls outside the Tree protection fencing. Please provide details of % impact of the development on the RPAs of these trees, with specific protection measures (including ground protection) to ensure everyone is clear how works within this area are to be carried out.
- Please provide details of post development management of the new plantings in line with BS5837.

Providing the above issues are satisfactorily addressed I would not object to the proposed development on arboricultural grounds.

13.11.2019

I have reviewed the responses and amended plans in response to my comments and can confirm that I am happy that they have been satisfactorily addressed.

As a result I have no objections to the proposed development provided the revised documents are fully adhered to throughout construction.

Environmental Protection Officer:

The application looks to create a new single-storey Community Hall.

An acoustic report has been submitted as part of the application by Noise Impact Assessment by RF Environmental (ref: RFE-0130-17-03), dated the 19th August 2019. A further update on insulation levels by RF Environmental (ref: RFE-0130-17-04), dated the 25th October 2019 has also been submitted.

The acoustic reports have calculated that entertainment noise from within the premises should be controlled to acceptable levels at the façade of local residential properties provided mitigation is put in place and windows and doors at the proposed premises are kept closed during Entertainment. Mitigation measures include enhanced glazing and noise attenuation to the roof.

In terms of windows being closed during entertainment, MJB architectures confirmed via email on the 20th September 2019 that the proposed heat pump will provide sufficient cooling in the summer months to allow all the windows and doors to be kept closed during entertainment.

It is recommended that mitigation measures, and the closure of windows and doors during entertainment be conditioned in order to protect existing residents. Even with these matters controlled there is still the potential for noise issues from plant and machinery, vehicles movements, people coming and going, and the use of the outside.

With regards to plant and machinery a condition is recommended to control the noise levels these will need to achieve. Given the residential nature of the area, a condition is also recommended to prevent the outside being used, other than for access and egress, during the later evening and night due to the potential noise impact. Additionally, a condition is recommended to control the times of commercial vehicle movements on site.

The only way to control the noise of customers, and their vehicles, coming and going is to control the opening times of the premises, and a condition is therefore recommended with regards to this. However the applicant should be aware that controls could also be put in place for entertainment times and supply of alcohol times via licensing. Environmental Protection may be more restrictive with times recommended for the licence, as there is more flexibility within the licensing regime for varying times for one off events.

There is also a concern with relation to demolition and construction noise during development of the proposed build and conditions are therefore recommended in relation to this.

Recommendation: Approve with conditions

1. The development hereby permitted shall not be occupied/brought into use until verification has been submitted to and approved in writing by the Local Planning Authority showing that the mitigation measures laid out in the Noise Impact Assessment by RF Environmental (ref: RFE-0130-17-04), dated the 25th October 2019 have been implemented fully (unless varied with the written agreement of the LPA in advance of implementation).
2. Commercial delivery's and waste collections from the site shall not occur on Sundays or Public Holiday or at any time other than that between the hours of 07:00 to 19:00 on Mondays to Fridays, and 08:00 to 17:00 on Saturdays.
3. The premises shall only operate between the hours of 07:00 to 23:00 on Sunday to Thursdays and 07:00 to 01:00 on Friday and Saturdays
4. The outside area shall only be used for access and egress between the hours of 21:00 to 07:00.
5. External doors and windows must be kept closed other than for access and egress when live or recorded music is being performed within the premises.
6. Noise associated with plant and machinery incorporated within the development shall be controlled such that the Rating Level, measured or calculated at 1-metre from the façade of the nearest proposed noise sensitive premises, shall not exceed 5dB below the existing LA90 background noise level. Rating Level and existing background noise levels to be determined as per the guidance provided in BS 4142:2014.

7. Construction hours: Works of construction or demolition, including the use of plant and machinery, necessary for implementation of this consent shall be limited to the following times:

- Monday to Friday: 08:00 - 18:00 Hours
- Saturday: 09:00 - 13:00 Hours
- Sundays and Bank/Public Holidays: no work permitted

Reason: to protect the amenity of local residents.

8. Deliveries: Deliveries or collection of plant, equipment or materials for use during the demolition/construction phase shall be limited to the following times:

- Monday to Friday: 08:00 - 18:00 hrs
- Saturday: 09:00 - 13:00 hrs
- Sundays and Bank/Public Holidays: None permitted

Reason: To protect the amenity of local residents

3. No burning materials: No burning of demolition/construction waste materials shall take place on site.

Reason: to protect the amenity of local residents from smoke, ash, odour and fume.

Drainage Officer:

SURFACE WATER DRAINAGE PROPOSAL

It is proposed that the development will utilise soakaway

FOUL WATER DRAINAGE PROPOSAL

It is proposed that the development will utilise existing foul arrangements

FLOOD RISK

The proposed development is within flood zone 1 and is deemed to be at low fluvial flood risk. The proposed development is not within an area identified as having possible surface water (pluvial) flood risk. There are not any historic records of flooding occurring on this site and in this area. This does not mean that flooding has never occurred here, instead, that flooding has just never been reported.

FLOOD RISK AND DRAINAGE TEAM CONSULTATION

The proposed drainage plan shows large soakaway.

Further information into our requirements for foul and surface water drainage are included within the 'further advice' section.

SUGGESTED CONDITIONS

C18D -

The development hereby permitted shall not commence unless and until details of the proposed foul and surface water drainage and means of disposal have been submitted to and approved in writing by the local planning authority. The extension/building shall not be occupied until all the approved drainage works have been carried out in accordance with the agreed details.

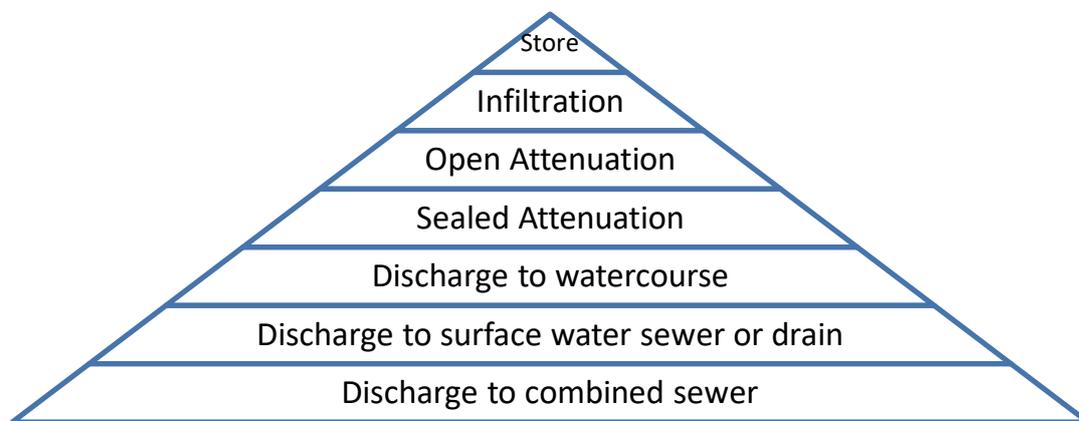
Reason: To ensure that the proposal is satisfactorily drained and to accord with the NPPF requirements, Policy CS13 of the Mid Sussex Local Plan, Policy DP41 of the Pre-Submission District Plan (2014 - 2031) and Policy ...'z'... of the Neighbourhood Plan.

FURTHER ADVICE

This proposed development will need to fully consider how it will manage surface water run-off. Guidance is provided at the end of this consultation response for the various possible methods. However, the hierarchy of surface water disposal will need to be followed and full consideration will need to be made towards the development catering for the 1 in 100 year storm event plus extra capacity for climate change.

The proposed development drainage will need to:

- Follow the hierarchy of surface water disposal, as set out below.



- Protect people and property on the site from the risk of flooding
- Avoid creating and/or exacerbating flood risk to others beyond the boundary of the site.
- Match existing Greenfield rates and follow natural drainage routes as far as possible.
- Calculate Greenfield rates using IH124 or a similar approved method. SAAR and any other rainfall data used in run-off storage calculations should be based upon FEH rainfall values.
- Seek to reduce existing flood risk.
- Fully consider the likely impacts of climate change and changes to impermeable areas over the lifetime of the development.
- Consider a sustainable approach to drainage design considering managing surface water at source and surface.
- Consider the ability to remove pollutants and improve water quality.
- Consider opportunities for biodiversity enhancement.

Flood Risk and Drainage Information for Planning Applications

The level of drainage information necessary for submission at each stage within the planning process will vary depending on the size of the development, flood risk, site constraints, proposed sustainable drainage system etc. The table below provides a guide and is taken from the [Practice Guidance for the English non-statutory SuDS Standards](#). Additional information may be required under specific site conditions or development proposals.

PRE-APP	OUTLINE	FULL	RESERVED	DISCHARGE	DOCUMENT SUBMITTED
✓	✓	✓			Flood Risk Assessment / Statement (checklist)
✓	✓	✓			Drainage Strategy / Statement & sketch layout plan (checklist)
	✓				Preliminary layout drawings
	✓				Preliminary "Outline" hydraulic calculations
	✓				Preliminary landscape proposals
	✓				Ground investigation report (for infiltration)
	✓	✓			Evidence of third party agreement for discharge to their system (in principle / consent to discharge)
		✓		✓	Maintenance program and on-going maintenance responsibilities
		✓	✓		Detailed development layout
		✓	✓	✓	Detailed flood and drainage design drawings
		✓	✓	✓	Full Structural, hydraulic & ground investigations
		✓	✓	✓	Geotechnical factual and interpretive reports, including infiltration results
		✓	✓	✓	Detailing landscaping details
		✓	✓	✓	Discharge agreements (temporary and permanent)
		✓	✓	✓	Development Management & Construction Phasing Plan

Useful Links

[Planning Practice Guidance](#) – Flood Risk and Coastal Change

[Flood Risk Assessment for Planning Applications](#)

[Sustainable drainage systems technical standards](#)

[Water.People.Places](#) - A guide for master planning sustainable drainage into developments

[Climate change allowances - Detailed guidance](#) – Environment Agency Guidance

Further guidance is available on the Susdrain website at <http://www.susdrain.org/resources/>

Information Requirements

The following provides a guideline into the specific information required based on the type of development, location and type of surface water drainage management proposed. Multiple lists may be relevant to a single application.

DESCRIPTION OF DEVELOPMENT	INFORMATION REQUIRED
<p>Located in Flood Zone 2 or 3.</p> <p>Located in Flood Zone 1 and greater than 1 hectare in area.</p> <p>Located in an area where a significant flood risk has been identified.</p>	<p>Flood Risk Assessment which identified what the flood risks are and how they will change in the future. Also whether the proposed development will create or exacerbate flood risk, and how it is intended to manage flood risk post development.</p>
<p>Multiple plot development</p>	<p>A maintenance and management plan will need to be submitted that shows how all drainage infrastructure will be maintained so it will operate at its optimum for the lifetime of the development. This will need to identify who will undertake this work and how it will be funded. Also, measures and arrangements in place to ensure perpetuity and demonstrate the serviceability requirements, including scheduled maintenance, inspections, repairs and replacements, will need to be submitted. A clear timetable for the schedule of maintenance can help to demonstrate this.</p>
<p>Public sewer under or adjacent to site</p>	<p>Consultation will need to be made with the sewerage undertaker if there is a Public Sewer running under or adjacent to the proposed development. Building any structure over or within close proximity to such sewers will require prior permission from the sewerage undertaker. Evidence of approvals to build over or within close proximity to such sewers will need to be submitted.</p>

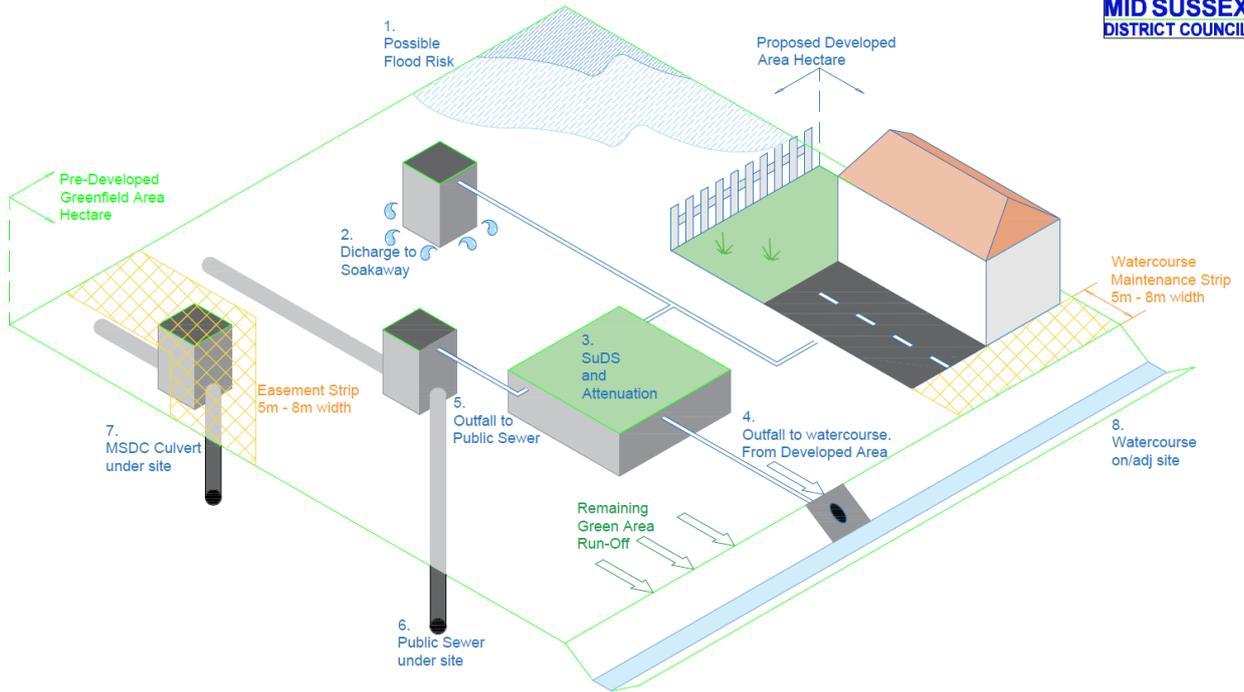
DESCRIPTION OF DEVELOPMENT	INFORMATION REQUIRED
MSDC culvert under or adjacent to site	Consultation will need to be made with Mid Sussex District Council if there is a MSDC owned culvert running under or adjacent to the proposed development. Building any structure over or within close proximity to such culverts will require prior permission from Mid Sussex District Council. Normally it will be required that an “easement” strip of land, at least 5 to 8 metres wide, is left undeveloped to ensure that access can be made in the event of future maintenance and/or replacement. This matter can be discussed with Mid Sussex District Council, Scott Wakely, 01444 477 055 or drainage@midsussex.gov.uk .
Watercourse on or adjacent to site	A watercourse maintenance strip of 5 to 8 metres is required between any building and the top-of-bank of any watercourse that may run through or adjacent to the development site.

Information Requirements – Surface Water Drainage

PROPOSED SURFACE WATER DRAINAGE METHOD	INFORMATION REQUIRED
Outfall to public sewer	<p>Any proposed run-off to a sewer will need to be restricted in accordance with the Non-statutory Technical Standards for SuDS, so that run-off rates and volumes do not exceed the pre-existing Greenfield values for the whole site between the 1 in 1 to the 1 in 100 year event. You cannot discharge surface water unrestricted to a sewer.</p> <p>Copies of the approval of the adoption of foul and surface water sewers and/or the connection to foul and surface water sewers from the sewerage undertaker, which agrees a rate of discharge, will need to be submitted. It will be expected that any controlled discharge of surface water will need to be restricted so that the cumulative total run-off rates, from the developed area and remaining greenfield area, is not an increase above the pre-developed greenfield rates.</p>

PROPOSED SURFACE WATER DRAINAGE METHOD	INFORMATION REQUIRED
Outfall to watercourse	<p>Any proposed run-off to a watercourse will need to be restricted in accordance with the Non-statutory Technical Standards for SuDS, so that run-off rates and volumes do not exceed the pre-existing Greenfield values for the whole site between the 1 in 1 to the 1 in 100 year event. You cannot discharge surface water unrestricted to a watercourse.</p> <p>If works (including temporary works) are undertaken within, under, over or up to an Ordinary Watercourse, then these works are likely to affect the flow in the watercourse and an Ordinary Watercourse Consent (OWC) may need to be applied for. Guidance into the OWC application process can be found on West Sussex County Council's website at https://www.westsussex.gov.uk/fire-emergencies-and-crime/dealing-with-extreme-weather/dealing-with-flooding/flood-risk-management/ordinary-watercourse-land-drainage-consent/</p> <p>OWC applications can also be discussed and made with Mid Sussex District Council, Scott Wakely, 01444 477 005.</p>
Soakaways	<p>Percolation tests, calculations, plans and details will need to be submitted to demonstrate that the soakaway system will be able to cater for the 1 in 100 year storm event plus have extra capacity for climate change. It will also need to be demonstrated that the proposed soakaway will have a half drain time of 24 hours or less.</p>

<p>PROPOSED SURFACE WATER DRAINAGE METHOD</p>	<p>INFORMATION REQUIRED</p>
<p>SuDS and attenuation</p>	<p>Written Statement (HCWS 161) - Department for Communities and Local Government - sets out the expectation that sustainable drainage systems will be provided to new developments wherever this is appropriate.</p> <p>Percolation tests, calculations, plans and details will need to be submitted to demonstrate that the development will be able to cater for the 1 in 100 year storm event plus climate change percentages, for some developments this will mean considering between 20 and 40% additional volume for climate change but scenarios should be calculated and a precautionary worst case taken.</p> <p>Any proposed run-off to a watercourse or sewer system will need to be restricted in accordance with the Non-statutory Technical Standards for SuDS, so that run-off rates and volumes do not exceed the pre-existing greenfield values for the whole site between the 1 in 1 to the 1 in 100 year event.</p> <p>A maintenance and management plan will also need to be submitted that shows how all SuDS infrastructure will be maintained so it will operate at its optimum for the lifetime of the development. This will need to identify who will undertake this work and how it will be funded. Also, measures and arrangements in place to ensure perpetuity and demonstrate the serviceability requirements, including scheduled maintenance, inspections, repairs and replacements, will need to be submitted. A clear timetable for the schedule of maintenance can help to demonstrate this.</p> <p>You cannot discharge surface water unrestricted to a watercourse or sewer.</p>



WSCC Highways:

The proposal to create the above facilities and associated car parking has been considered by WSCC as the County Highway Authority previously in planning application DM-17-0852. As this is a proposal not within the public highway all comments are advisory.

Access

Access to the site is taken from Southdowns Park, a private residential link road on part of the former Princess Royal Hospital site in Haywards Heath. There will be two car parks each with an access onto Southdowns Park. This links into the public highway network at Colwell Road and the B2272 roundabout into the Hospital.

Visibility Splays

There are two access points from Southdowns Park. The western access is already in situ and the eastern access will be created as part of the new car parking area. It is advised these splays are in line with MFS guidance of 2.4m x 43m for a 30mph speed limit in both directions.

Car Parking

It is envisaged most residents will have no need to drive to the site and will walk or come by bike. As such the provision of spaces in the car park reflects this. 36 car parking spaces will be provided. This is slightly under the 43 spaces recommended in the revised parking guidance for new developments. A 10% reduction; in spaces can be used in scenarios where expected parking levels may be lower. Alternative parking areas have been identified by the applicant to cover this shortfall of 3 spaces. There is an existing pay and display car park located near to the site; which can be used during the day time and will be available for use free of charge during the evening and at weekends, offering an additional 50

spaces.

Within the new car parking areas there are 4 disabled spaces, in line with MFS guidance for a minimum 5% of spaces. Recent changes to our car parking standards now require new developments to provide 1% of its spaces for electric vehicle charging, or to supply ducting ready for any future demand as this is set to rise over the next 10 years.

Cycle Parking

Recommended cycle parking for a D2 use of this size is 1 space per 4 staff plus visitor/customer cycle parking. 11 cycle spaces are provided with a shelter over.

Trip Impact

As the club is a replacement for the Norman Hay Hall it is likely the trips to and from the site will not be any different to what was already occurring. A TRICS analysis for a leisure and community centre with 958 sqm predicts an additional traffic generation of 127 trips per day with peaks occurring in the morning, lunchtime, and late afternoon. Weekends are not included in the analysis; but it is envisaged the trip rates may be higher but not in any way significant in highway capacity terms. Access can be made in and out of the site from both the east and the west which distributes the traffic around different parts of the network.

Local Issues

Local views from residents have highlighted there are issues with the width of the private access roads but these are not within the public highway. We advise where roads are narrow that passing places are provided. This will be the responsibility of the land owner to provide solutions to any road issues.

Car parking space (details approved) No part of the development shall be first occupied until the car parking has been constructed in accordance with the approved site plan. These spaces shall thereafter be retained at all times for their designated purpose.

Reason: To provide car-parking space for the use

Construction Management Plan

No development shall take place, including any works of demolition, until a Construction Management Plan has been submitted to and approved in writing by the Local Planning Authority. Thereafter the approved Plan shall be implemented and adhered to throughout the entire construction period. The Plan shall provide details as appropriate but not necessarily be restricted to the following matters,
the anticipated number, frequency and types of vehicles used during construction,
the method of access and routing of vehicles during construction,
the parking of vehicles by site operatives and visitors,
the loading and unloading of plant, materials and waste,
the storage of plant and materials used in construction of the development,
the erection and maintenance of security hoarding,
the provision of wheel washing facilities and other works required to mitigate the impact of construction upon the public highway (including the provision of temporary Traffic Regulation Orders), details of public engagement both prior to and during construction works.

Reason: In the interests of highway safety and the amenities of the area.

Community Facilities Project Officer:

Thank you for the opportunity to comment on the amended scheme for a community hall at St Francis Sports And Social Club, Colwell Road, Haywards Heath RH16 4EZ on behalf of the Head of Corporate Resources.

The Council has offered grant funding toward this facility, subject to planning approval and a number of other special conditions, and is supportive of the proposal to provide a replacement for the Norman Hay Hall which was demolished to make way for additional housing at this site.